



berwickwaters::

Mondous Island

Design and
Siting Guidelines

July 2021



Mondous Island is a new precinct of the Berwick Waters residential development, laid out amongst expansive wetlands an aspirational neighbourhood for new residents to become a part of as the estate grows into a vibrant and prospering community.

These Guidelines present a series of easy to follow measures designed to protect the integrity of Mondous Island and ensure a high standard of design that will support the value of the investment of your home.

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1.1 Purpose

The principal aim of these Design Guidelines ('Guidelines') is to create a coherent character within the neighbourhood for the Mondous Island community.

These Guidelines have been developed to guide the design of the built environment within Mondous Island. The Guidelines are designed to ensure a high standard of innovative and contemporary design whilst encouraging a variety of housing styles and allowing for flexibility in design.

The Mondous Island Guidelines will be a restriction included on the Registered Plan of Subdivision.

1.2 The value of design

Each individual house design should contribute to the surrounding environment and to the estate in a positive way.

Owners are encouraged to construct innovative and appropriate designs that address sustainability issues and present a cohesive residential image for the estate.

Building Envelopes have been designed for all allotments to ensure homes are appropriately sited with setbacks and height controls to help limit overlooking and overshadowing.

1.3 Operation

The Design Assessment Panel ('DAP') will be responsible for the review and approvals of your house plans. All proposed building works including houses, garages, outbuildings and fencing are required to be approved by the DAP in relation to these Guidelines prior to seeking a Building Permit.

In considering the designs submitted, the DAP may approve designs not strictly in accordance with the Guidelines at their discretion if it is deemed that the design is in accordance with the Mondous Island vision.

Covenants or Restrictions on the Plan of Subdivision cannot be changed by the DAP and therefore must be adhered to at all times.

1.4 Landscaping construction

Landscaping works must be completed within 6 months of you moving into your home.

2. Approval Process

The following steps outline the process to construct a house at Mondous Island.

Step 1 Awareness

Homes must be designed in accordance with the Guidelines and any other governing requirements.



Step 2 Submission

Designs are to be submitted in duplicate to DAP for approval as follows:

- House floor plans (1:100 scale)
- Elevations from four sides (1:100 scale)
- Roof plan
- Schedule of external materials
- Completed Check List (refer Appendix A of Guidelines)
- Site plan (1:200 scale) showing:
 - setbacks from all boundaries
 - building envelope
 - external features including driveways, paths, fencing and outbuildings
 - landscaping



Step 3 Approval

When all documents are submitted (refer Appendix A) and meet compliance, allow approximately 10 working days for approval.



Not
Approved



Approved



Step 4 Re-submission

Plans that do not comply with the Guidelines will be requested to be amended by the DAP.

Amended plans can be resubmitted for approval. Any alterations made to the resubmission other than the initial non-compliance should be highlighted on the plans or detailed in an accompanying letter.

Step 5 Building permit

Before you apply for a Building Permit you must first gain approval of your house design from the DAP. A Building Permit can be applied for from the City of Casey or a Private Building Surveyor.

Note: Design approval from DAP does not exempt the plans from any building or statutory regulations. Separate approval must be obtained from the relevant authorities. Approval by the DAP does not infer compliance under the Building Code of Australia, Rescode and other applicable planning or building regulations.



Step 6 Construction

Once a Building Permit has been obtained, and all legal and conveyancing requirements have been met, construction of your house may commence.

3. Siting & Orientation

3.1 Considerations

Careful siting of houses and garages is important for a number of reasons:

- Ensuring best visual presentation from the street
- Maximising the benefits of solar access
- Promoting energy efficiency
- Minimising overlooking
- Respecting the privacy and amenity of neighbours

3.2 Land use

One dwelling only is permitted per allotment. Dual occupancy and further subdivision is not permitted. This excludes those lots designated for multiple dwellings or medium density housing.

3.3 House orientation

Houses must be orientated towards the front boundary of the lot.

In the case of any lot where more than one boundary abuts a road, the shortest of the boundaries which abuts a road is the front boundary and where there is a splayed corner on a lot, that part of the boundary which is created by the splay (i.e. the corner section) shall be disregarded.

Where possible, houses should be sited so that habitable rooms and private open spaces face northwards to receive maximum solar efficiency.

3.4 Building envelopes, setbacks from front, side & rear boundaries

3.4.1 Building envelopes

Building Envelopes have been prepared for the lots in each stage at Mondous Island and are contained within the Memorandum of Common Provisions. All buildings, including garages, must be contained within the Building Envelope specified for that lot.

3.4.2 Setbacks

The front, side and rear setbacks are designated on the specified Building Envelopes for each lot.

All dwellings must be setback in accordance with the Building Envelopes incorporated into the applicable Memorandum of Common Provisions.

4. Built Form

4.1 Architectural style

At Mondous Island, high standards of housing design will be required, and a variety of styles are encouraged. Designs should be responsive to the individual attributes of the lot, having regard to the slope, vegetation and outlook.

The design should consider the front entries visible from the street, with the inclusion of protruding elements such as verandahs and porticos strongly encouraged.

Further enhancement can be achieved through the use of detail and shade in the form of pergolas and extended eaves.

To ensure diversity across Mondous Island, a dwelling should avoid replicating an identical façade, within four houses in any direction.

4.2 Fibre to the home

Fibre to the Home ('FTTH') will be provided to parts or all of the development. Due to the provision of FTTH throughout the estate, new technology is employed and as a result the wiring within your house needs to be done differently as part of its construction. This is something that will need to be addressed as part of the house design, and we therefore recommend that you raise this issue with your builder as part of the design process. The services provided with FTTH are telephone and broadband internet.

4.3 External materials

The materials of the walls and roofs of houses will have a major impact on the visual quality of Mondous Island. The use of a combination of finishes is encouraged for the purpose of achieving a degree of individuality and interest.

Thoughtful selection of materials will achieve a degree of visual harmony between houses. For these reasons, purchasers are requested to submit roof and wall materials for approval, based on the following criteria:

- At least 50% of the external walls (excluding windows) of all dwellings (including garages and carports) must be constructed of brick, brick veneer, stone, masonry or masonry veneer.
- The external walls of all other usual outbuildings must be constructed of brick, stone, rendered concrete, concrete sheet, timber or coloured non-reflective metal.

4.4 Dwelling size

The minimum dwelling size (excluding garage) is 280 square meters.

All dwellings on Mondous Island must be two story homes.

All two storey dwellings must be articulated to the front façade as a minimum, alternate materials are encouraged as a method of providing the visual break from a monotone and bleak façade. Designers must consider that any dwelling is three dimensional and sight lines to side elevations are part of articulation considerations.

It is important to ensure that two-storey houses are designed and sited correctly to minimise overlooking and overshadowing. It is recommended that initial concepts for two-storey houses be discussed with the DAP.

The articulation of the front of the upper level of two-storey houses is encouraged to avoid dominating the streetscape.

4.5 Energy efficiency

An energy smart home takes advantage of the sun's free warmth and light and, with the inclusion of energy efficient appliances and systems, will save a great deal of energy.

Well-designed homes reduce the demand on heating and cooling. Any style of house can be energy efficient. Energy smart homes have a combination of features which work together to ensure you achieve the highest degree of comfort with minimum energy use. Homes at Mondous Island must achieve at least a 6-star energy rating in accordance with the Victoria Home Energy Rating System.

An Energy Rating certificate will not be required prior to DAP approval; however, a certificate will be required prior to obtaining your Building Permit. It is recommended that the minimum Energy Rating be checked with the relevant authority at the time in case there has been a revision of the standard required by the authority.

4.6 Roofs

The roof of your dwelling will have a large impact on the streetscape character and therefore must be carefully considered. Residents are encouraged to explore varying roof forms which could include pitched, flat roofs or skillion roofs.

All roofs must be constructed of masonry, slate, terracotta or Colorbond. Other non-reflective materials may be considered for review by the DAP.

4.7 Garages

The garage for each dwelling will have a significant impact on the streetscape. The design and location of the garage should be harmonious to the main body of the dwelling and should not be an obtrusive feature.

Car ports are not permitted.

Garages must not occupy more than 40% of the width of the primary frontage of the lot. Garages must be constructed within the Building Envelopes and sited a minimum of 5.5 metres from the primary frontage.

The garage setbacks also apply for entry to the garage from the secondary frontage. It is preferable for garages to be constructed under the main roof of the house. If garages are free standing, they should match in with the roof form and be constructed of the same materials as the house.

Landscaping is encouraged to soften the side of garage which is facing the street.

The garage door must be of a colour which complements the house. Roller doors are not permitted.

4.8 Corner and rear access lots

If your home is located on a corner, its design must positively address both the front and side streets, along with any other frontage visible from public open space areas. A consistent architectural style should be used for all visible façades. Where the DAP considers the dwelling design does not properly or adequately address the street corner and both street frontages, additional treatments may be required to obtain its approval.

- For corner and rear accessed allotments, windows that are readily visible from the street must be consistent in style and proportion. These include windows of the front elevation, on the ground floor forward of the corner fence and on the upper storey.
- A feature window must be provided at ground floor level to the secondary street frontage of your home within the first 4m from the front façade and provide a clear view to the secondary streetscape. Highlight windows are not acceptable.
- Front, side street, reserve and rear laneway facing second storey façades must incorporate a habitable room window. They should also incorporate balconies and/or additional setbacks and articulation.
- Double storey dwellings must provide variation in materials between the upper and lower storeys to articulate the corner of both façades.
- Articulation of some form is required to the upper floor side street elevation.
- Double storey homes on corner lots must have a minimum 20% glazing to the upper floor that faces the secondary frontages, measured as an area of the upper floor wall elevation.
- Upper floor windows facing a side street are to be clear glass only.
- Design elements such as verandahs, detailing, feature windows and materials, used on the primary frontage, must continue on that part of the secondary frontage visible to the public realm.

5. External Considerations

5.1 Access and driveways

Driveways are a major visual element and should be constructed using materials that blend with or complement the dwelling textures and colours.

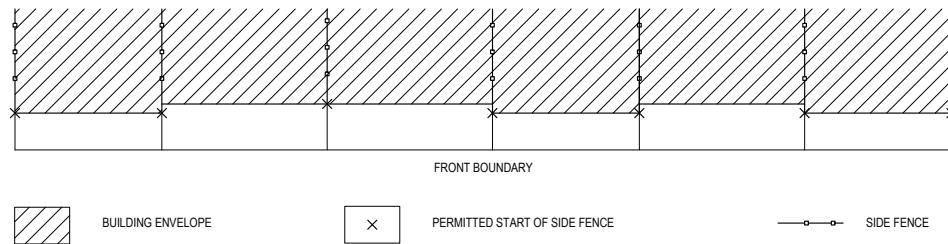
Only one driveway will be permitted for each lot. If a new driveway is constructed to match the house design, the existing driveway must be removed at the time the new driveway is constructed.

Driveways to all lots must be set back a minimum of 0.5 metre from the side boundary to allow for landscaping along the length of the driveway. Recommended paving materials include stone, brick or exposed aggregate. Colour concrete is prohibited. All driveways must be completed prior to the Certificate of Occupancy being issued.

5.2 Fences

The objective of the DAP is to provide a degree of uniformity throughout the estate and thereby avoid an untidy mix of various fence standards, colours and types.

To enhance the park-like character of the estate, front fencing will not be permitted. On side boundaries, no fencing is permitted between the Front Boundary and the point that is 5m from the Front Boundary of any residence on the lot.



All side and rear fences are to be constructed of timber palings with a timber cap across the top, exposed posts on both sides of the fence, and to a height of 2.0 metres, including capping (excluding a screen required for overlooking purposes).

Fences must be constructed prior to the Certificate of Occupancy being issued.

5.3 Water saving initiatives

Berwick Waters is committed to saving water and encourages all residents to consider water saving initiatives in the home including:

- Front loading washing machine (AAAA rating or greater)
- Dishwasher (AAAA rating or greater)
- Garden with native plant species, or other appropriate drought tolerant plants
- Rainwater to infiltrate into the garden as opposed to draining out to the stormwater system
- Garden irrigation drip system (rather than sprayers)

Recycled water is mandated through the development. South East Water requirements for supply are to be complied with; please speak to your builder about this.

5.4 General

External fixtures must adhere to the following principles and the location must be noted on plans to be submitted to the DAP.

Clotheslines, garden sheds, external hot water services and ducted heating units or similar must not be visible from the street.

Solar water heaters are permitted and, where possible, are to be located out of view from the front boundary and the street abutting it. The solar panels shall be located on the roof, not on a separate frame, and the storage tanks detached and located out of view from the street frontage.

Both refrigerated and evaporative air-conditioning units must be positioned so that they are not visible from the front boundary and the street abutting it. They must be painted to match the colour of the roof, be low profile units and installed as low as possible below the roof ridgeline towards the rear of the house.

Wall mounted air-conditioners must be located below the eaves line, screened so they are not visible from the front boundary and the street abutting it and suitably baffled to reduce noise.

Satellite dishes will only be approved if located below the roofline of the house and must be screened so they are not visible from the front boundary and the street abutting it.

Rainwater tanks must not be visible from the front boundary and the street abutting it.

External plumbing (excluding stormwater drainage downpipes) must not be visible from abutting streets and in the case where lots front onto parkland must not be visible from the park.

Rubbish bins & recycling bins should be stored out of view from the street.

Commercial vehicles with a carrying capacity of 1 tonne or more or any boat, caravan or trailer shall not be permitted to be parked on a lot so that it is visible from any street or park adjacent to or abutting the lot.

Advertising signage is not permitted on any residential lot except when the lot is being sold after the expiration of 5 years from the registration of the Plan of Subdivision or completion of a dwelling, whichever occurs first.

5.5 Landscaping and tree protection

General guidelines

To create an attractive neighbourhood, residents are encouraged to install high quality landscaping treatments in their gardens with the inclusion of resilient, indigenous vegetation.

The form and type of plantings should complement and enhance the architecture of the dwelling.

Landscaping design should be prepared with the objective of low water usage. No tree or shrub with a mature height greater than 3 metres should be planted closer than 2 metres to the house. The use of prohibited invasive weeds should be avoided.

Front gardens

All landscaped areas between the front boundary and the dwelling must be established within 6 months of the issuing of the Occupancy Permit to ensure that a good presentation is achieved for the local community.

5.6 Letter Boxes

Letter boxes should be designed to match the house using similar materials and colours and must be erected before occupancy permit. The size and position of the letterbox must comply with Australia Post requirements. The street number must be clearly identifiable, suitably sized and located and must not interfere with the overall streetscape.



Acceptable.



Not acceptable.

Appendix a: Design guidelines checklist

Lot No:

Street Address:

Owner's Name:

Preferred Contact No:

Address:

Builder's Name:

Contact Name:

Contact No:

Signature of Owner/Builder (Please circle)

Date / /

Documentation required to be submitted for approval to the Berwick Waters Design Panel.

1. **Site Plan**
Including dwelling, carports, garages and outbuildings. ☐
Including dimensioned setbacks from all boundaries. ☐
2. **Floor plans fully dimensioned**
House only. ☐
3. **Elevation fully dimensioned**
Front, rear and both sides. ☐
4. **Schedule of external materials and colours**
Walls and roofs of house and outbuildings. ☐
5. **Fencing**
Location, height and materials of all boundary fencing. ☐
6. **Landscape plan and planting proposal** ☐

Each box is to be ticked. Applications cannot be assessed until all of the above information is available.

Please submit the above documentation to:

Berwick Waters Design Approval
waterside@micnet.com.au

A copy of this form must be included with the lodgement of plans for approval.





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berwickwaters.com.au

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