

**INSET**  
Scale 1:500 @ A1  
Scale 1:1000 @ A3

H5 - PROPERTY DRAIN AT 5.5m OFFSET WHERE DRAIN IN NON-PERPENDICULAR, O/S REFERS TO INTERS. OF DRAIN & BL.  
C7.5 - G&W CONDUITS AT 7.5m OFFSET  
H MAX IL55.40 - MAX. ALLOWABLE IL OF HOUSE DRAIN

NOTE: ALL OFFSETS ARE MEASURED ALONG THE ROAD RESERVE BOUNDARY AND FROM NEAREST SIDE TITLE BOUNDARY.

PROPOSED SINGLE RESIDENTIAL VEHICLE CROSSING AS PER EDM501 UNLESS NOTED OTHERWISE. OFFSET IS AS PER COUNCIL STD IF NOT SHOWN.

PROPOSED DOUBLE RESIDENTIAL VEHICLE CROSSING AS PER EDM502.

**SETOUT POINT DETAIL FOR PITS OUTSIDE STAGE BOUNDARY**  
NOT TO SCALE

**LEGEND**

- FILL EARTHWORKS - FILL AREA WITHIN LOTS GREATER THAN 150mm DEPTH
- DIRECTION OF LOT FINISHED SURFACE FALL
- DRIVEWAY SIZE AND LOCATION SUBJECT TO BUILDING DESIGN GUIDELINE
- TOP OF BATTER OFFSET 4.0m FROM TITLE BOUNDARY
- TOE OF BATTER
- CONNECT EASEMENT PROPERTY CONNECTION SHALL BE OFFSET 1.0m FROM SIDE LOT BOUNDARY UNLESS NOTED OTHERWISE.

**TYPICAL NOTATIONS - EXAMPLE**  
NOT TO SCALE

**WARNING**  
BEWARE OF UNDERGROUND SERVICES  
THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE PRIOR TO COMMENCEMENT OF WORK. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

**CONSTRUCTION PLAN**

THIS DRAWING IS NOT TO BE COPIED OR SCALED.

VERSION	REMARKS	DATE	BY
D	SERVICE OFFSETS AMENDED	28.05.2021	JZ
C	SERVICE OFFSETS AMENDED	18.05.2021	JZ
B	CONSTRUCTION ISSUE	15.03.2021	JZ
A	PRELIMINARY ISSUE	21.08.2020	JZ

**LEGEND**

—	DRAIN, PROPERTY INLET & PIT	—	RECYCLED WATER
—	EX DRAIN & PIT	—	EX RECYCLED WATER
—	HOUSE DRAIN	—	ELECTRICAL U.G. SERVICES
—	SEWER AND MAINTENANCE HOLE	—	EX ELECTRICAL U.G. SERVICES
—	EX SEWER AND MAINTENANCE HOLE	—	ELECTRICAL SERVICE & PIT
—	WATER MAIN	—	EX ELECTRICAL ASSETS
—	EX WATER MAIN, VALVE & HYDRANT	—	EX ELECTRICAL OVERHEADS
—	GAS MAIN	—	GAS & WATER CONDUITS
—	EX GAS MAIN, VALVE	—	TOP OF BATTER
—	TELSTRA SERVICES & PITS	—	TOE OF BATTER
—	EX TELSTRA SERVICES & PITS		

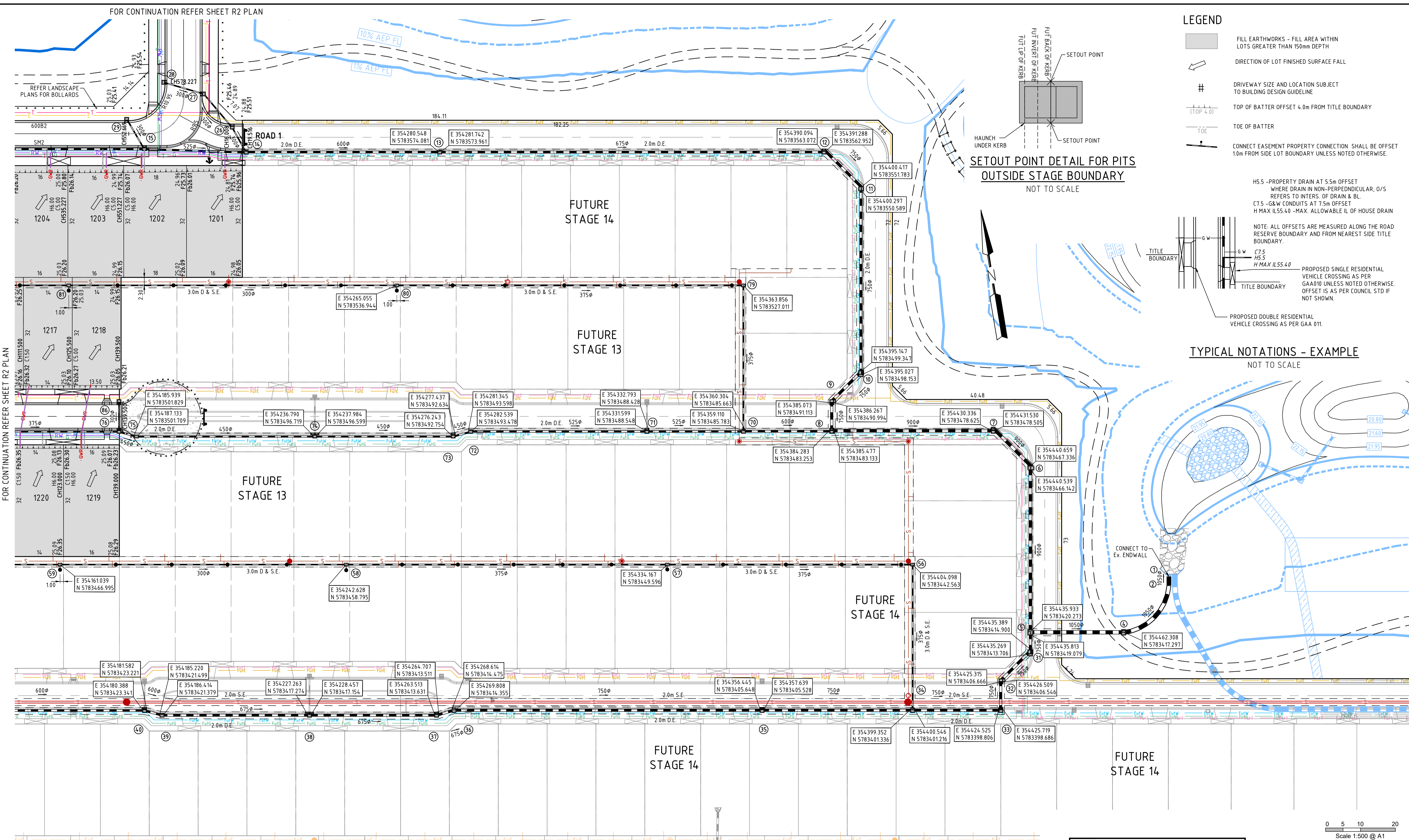
F	FINISHED SURFACE AFTER CUTTING OR FILLING	DRAWN BY	N. KASHA	DESIGNED BY	J. ZHOU
Fb	TOP OF PROPOSED BATTER	MELWAY	131, B10	CHECKED BY	H. DAY
P	PROPOSED PAVEMENT OR FOOTPATH SURFACE	DATUM	AHD	AUTHORISED BY	S. RAVIDA
IL	EXISTING OR PROPOSED INVERT LEVEL OF PIPE OR OPEN DRAIN				
TP	TANGENT POINT				
CH	CHANGNAE				
PSM	STREET SIGN DRAINAGE PIT No. TBM				
—	EX FENCE				
—	EX WALL OR BUILDING				

**REEDS CONSULTING**

LAND SURVEYING  
CIVIL ENGINEERING  
PLANNING  
DEVELOPMENT CONSULTING

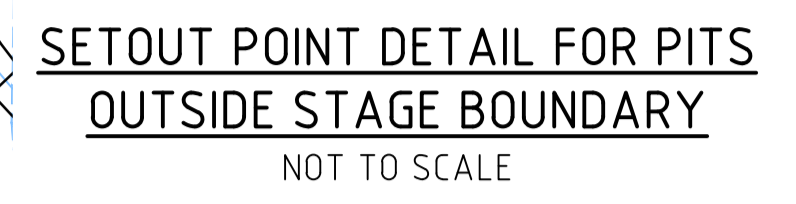
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CITY OF CASEY WATERSIDE ESTATE STAGE 12 LAYOUT PLAN - 1		DRAWING No. <b>12R2</b>	VERSION <b>D</b>
		REFERENCE <b>21734E/12</b>	SHEET 2 OF 28



### LEGEND

- FILL EARTHWORKS - FILL AREA WITHIN LOTS GREATER THAN 150mm DEPTH
- DIRECTION OF LOT FINISHED SURFACE FALL
- DRIVEWAY SIZE AND LOCATION SUBJECT TO BUILDING DESIGN GUIDELINE
- TOP OF BATTER OFFSET 4.0m FROM TITLE BOUNDARY
- TOE OF BATTER
- CONNECT EASEMENT PROPERTY CONNECTION SHALL BE OFFSET 10m FROM SIDE LOT BOUNDARY UNLESS NOTED OTHERWISE.



H5.5 - PROPERTY DRAIN AT 5.5m OFFSET WHERE DRAIN IN NON-PERPENDICULAR, O/S REFERS TO INTERS. OF DRAIN & BL.  
 C7.5 - G&W CONDUITS AT 7.5m OFFSET H MAX IL55.40 - MAX. ALLOWABLE IL OF HOUSE DRAIN

NOTE: ALL OFFSETS ARE MEASURED ALONG THE ROAD RESERVE BOUNDARY AND FROM NEAREST SIDE TITLE BOUNDARY.

PROPOSED SINGLE RESIDENTIAL VEHICLE CROSSING AS PER GAA010 UNLESS NOTED OTHERWISE. OFFSET IS AS PER COUNCIL STD IF NOT SHOWN.

PROPOSED DOUBLE RESIDENTIAL VEHICLE CROSSING AS PER GAA 011.



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0 5 10 20  
 Scale 1:500 @ A1  
 Scale 1:1000 @ A3

**CONSTRUCTION PLAN**

EXISTING BLOOM ESTATE  
 89 108 110 111 112 101 102 103 104 105 106 107 108 109 110 111 112 113

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VERSION	REMARKS	DATE	BY
B	CONSTRUCTION ISSUE	15.03.2021	JZ
A	PRELIMINARY ISSUE	21.08.2020	JZ

### LEGEND

- DRAIN, PROPERTY INLET & PIT
- EX DRAIN & PIT
- SEWER AND MAINTENANCE HOLE
- EX SEWER AND MAINTENANCE HOLE
- WATER MAIN
- EX WATER MAIN, VALVE & HYDRANT
- GAS MAIN
- EX GAS MAIN, VALVE
- TELSTRA SERVICES & PITS
- EX TELSTRA SERVICES & PITS
- RECYCLED WATER
- EX RECYCLED WATER
- ELECTRICAL U.G. SERVICES
- EX ELECTRICAL U.G. SERVICES
- ELECTRICAL SERVICE & PIT
- EX ELECTRICAL ASSETS
- EX ELECTRICAL OVERHEADS
- GAS & WATER CONDUITS
- TOP OF BATTER
- TOE OF BATTER
- FINISHED SURFACE AFTER CUTTING OR FILLING
- TOP OF PROPOSED BATTER
- PROPOSED PAVEMENT OR FOOTPATH SURFACE
- EXISTING OR PROPOSED INVERT LEVEL OF PIPE OR OPEN DRAIN
- TANGENT POINT
- CHAINAGE
- PSM
- STREET SIGN
- DRAINAGE PIT No.
- TBM
- EX FENCE
- EX WALL OR BUILDING

DRAWN BY	DESIGNED BY	CHECKED BY	AUTHORISED BY
N. KASHA	J. ZHOU	H. DAY	S. RAVIDA
MELWAY	131, B10		
DATUM	AHD		

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CITY OF CASEY  
 WATERSIDE ESTATE  
 STAGE 12  
 LAYOUT PLAN - 2

DRAWING No.	12R3	VERSION	B
REFERENCE	21734E/12		
SHEET	3 OF 28		

H:\21734\STAGES\12\CADD\DWG\SETROAD AND DRAINAGE\21734\_12R2-3\_12R3-18.DWG